

Planning Commission Date: August 23, 2006

Item No. 1.

## MILPITAS PLANNING COMMISSION AGENDA REPORT

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Category: Public Hearing

Report Prepared by: Momo Ishijima

Public Hearing: Yes:   X   No:       

Notices Mailed On: 8/11/06

Published On: 8/10/06

Posted On: 8/11/06

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**TITLE:** "S" ZONE APPROVAL AMENDMENT NO. SA2006-41, LEE RESIDENCE

**Proposal:** A request for the construction of new accessory structures, including a deck, gazebo, arbor and trellis, addition of new lighting and the relocation of the perimeter fence for a hillside residence.

**Location:** 1608 Pebble Beach Court

**APN:** 029 55 019

**RECOMMENDATION:** Recommend approval to City Council.

**Applicant:** Cindy Hui, China Garden Company, 223 Del Monte Ave, South San Francisco, CA 94080

**Property Owner:** Tracy Mei Yueh Lee, 1608 Pebble Beach Court, Milpitas, CA 95035

**Previous Action(s):** "S" Zone Approval

**Environmental Info:** The proposed project is categorically exempt per Section 15303 (New Construction or Conversion of Small Structures – including patios and fences) of the California Environmental Quality Act (CEQA) Guidelines.

**General Plan Designation:** Hillside Medium Density Residential

**Present Zoning:** R1-H, Single Family Hillside District  
(PUD 21, Summit Pointe Planned Unit Development)

**Existing Land Use:** Single Family Residence

**Agenda Sent To:** Applicant and owner as noted above

**Attachments:** (1) Project plans  
(2) Project statement  
(3) Homeowner's Association letter

**PJ#:** N/A

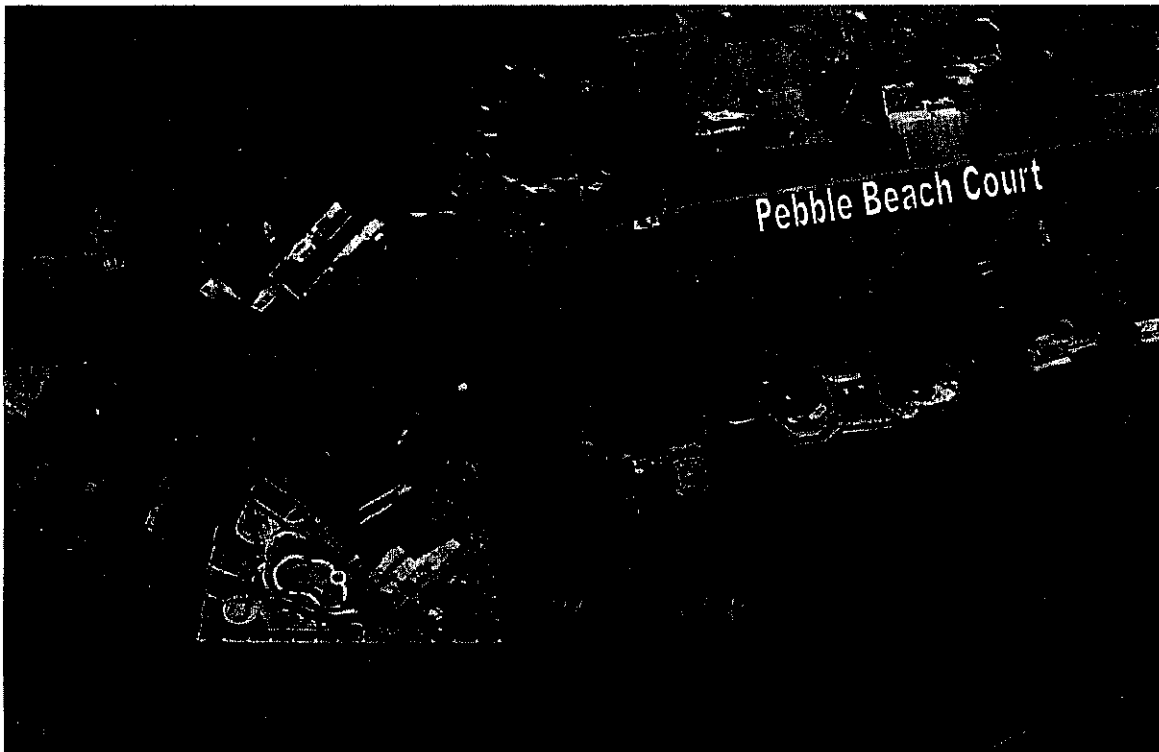
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## BACKGROUND

The City Council approved Planned Unit Development (PUD) 21, Summit Pointe, on May 17, 1984, for the subdivision of 88 lots in the hillside area. The Planning Commission approved the site and architectural plans ("S" Zone Approval) for the subject residence on June 19, 1986.

### Site Description

The project site is located in the Summit Pointe PUD in the hillside on the south side of Pebble Beach Court at the end of the cul-de-sac. The 20,004 square foot lot consists of a single-family residence with a spa, concrete patio, arbor, outdoor barbeque and iron fencing around the lawn area in the southwestern portion of the rear yard.



## THE APPLICATION

The application is submitted pursuant to Section 45.09 (Hillside Combining District Site and Architectural Approval), Section 54.11-5 (Hillside Fences) and Section 54.09 (Accessory Building and Structure) of the Milpitas Zoning Ordinance.

### Project Description

The applicant is requesting the removal of the existing spa, a portion of the concrete patio, arbor and iron fencing, the relocation of the outdoor barbeque and the installation of new accessory

structures, including a deck, gazebo, arbor and trellis, slate patio, pavers, dry creek, waterfall, footbridge, putting green and the addition of new lighting and perimeter fence.

**Deck:** The deck is approximately 630 square feet. The deck extends from the southeast side of the rear yard at grade level to the southwest with the highest part of the deck at 4 feet 6 inches above the ground. The deck is constructed of Trex deck material, a composite of wood and recycled plastic, with a 3-foot iron railing around the perimeter. The outdoor barbeque will be relocated to the east side of the deck. The deck and iron railing will be painted a light gray color.

**Gazebo:** The gazebo is 12 feet in height and approximately 108 square feet. The gazebo structure will be located in the lawn area in the southwest side of the rear yard. The gazebo has a hexagonal shape, constructed of wood with six 8-inch diameter column posts. The roof will be hipped with asphalt shingles to match the existing residence. The gazebo has a decorative wooden railing, approximately 2 feet in height around the edge. The gazebo will be painted a light blue-gray color to match the existing residence.

**Arbor/Trellis:** Arbor #1 is 8 feet in height and approximately 440 square feet. The arbor structure is attached to the existing residence and projects south toward the proposed deck over a slate patio. The arbor structure is constructed of fir (wood) with flat lateral beams and eight 10-inch diameter column posts. The arbor will be painted a light blue-gray color to match the existing residence.

**Arbor:** Arbor #2 is 12 feet 6 inches in height and approximately 100 square feet. The arbor structure will replace the existing arbor structure on the southeast side of the rear yard. The arbor structure is constructed of redwood with a hipped open roof and four wood posts. The arbor will be painted a tan color. A portion of the existing concrete patio will be removed and replaced by pavers with ground cover edging in the area between the residence and Arbor #2.

The area of the proposed work is relatively flat with a steeper grade drop off toward the rear property line. The applicant proposes to install a dry creek, waterfall and a footbridge between Arbor #2 and the Arbor #1/deck area. A putting green will be added in the lawn area adjacent to the gazebo.

**Fence:** The applicant is requesting to permit a perimeter fence at the rear and sides of the property. Most of the existing fence is comprised of a white wrought iron fence, which extends diagonally from the back of the house around the lawn area to the rear of the property in a southwesterly direction. The applicant proposes to remove this fence and replace it with openwork wrought iron fence along the rear and side property lines. The total height of the fence will be 6 feet high with a 1-foot stucco base wall and 5 feet of wrought iron fence. The fence is uniformly open with a 15-inch ornamental ironwork design approximately every 8 feet with a gray slate post every 8 feet.

The applicant is also proposing other minor changes that can be reviewed administratively including new landscaping and the installation of lighting along the front driveway.

### Conformance with the General Plan

The proposed project is consistent with the General Plan and with Implementing Policy 2.a-I-18.

*Implementing Policy 2.a-I-18 To ensure that development in the foothills is in keeping with the natural character of the hillside, and that views are protected, require city review and approval of all proposed development or major alterations to existing development in the hillside. As part of the review, ensure that:*

- *Landscaping is of a type indigenous to the area;*
- *Building designs, materials and colors blend with the environment;*
- *Grading is minimized and contoured to preserve the natural terrain quality.*

Comment: The proposed project is consistent with the above policy, which ensures that development in the hillside area is reviewed and approved such that it is in keeping with the natural character of the hillside and views are protected. As conditioned, the materials, design of the accessory structures and lighting will be in keeping with the natural setting and view of the hillside.

### Conformance with the Zoning Ordinance

The project is consistent with the following applicable hillside development standards of the Zoning Ordinance and PUD 21 development standards:

Hillside Development Standard	Proposed Project	Complies ?
<b>Accessory Structure Height</b> - 17 feet	8 feet ~ 12 feet 6 inches	Yes
<b>Accessory Structure Size</b> – 2,000 sq. ft.	1,278 sq. ft. (total)	Yes
<b>Outdoor Lighting</b> – minimum wattage, shielded so not directly visible off-site	Fixtures with shields	Yes (as conditioned)
<b>Fence Material</b> – natural or other material approved by the Commission.	Slate with stucco & wrought iron	Yes (with PC approval)
<b>Fence Height</b> - none	6' maximum interior height	Yes
<b>Fence Openwork</b> -- 75% Transparency	75%	Yes

<b>Impervious Surface Coverage</b> – 8,000 sq. ft.	7,903 sq. ft.	Yes
<b>Roof Material</b> – ceramic or concrete tile metal, tri-laminate asphalt composition	Tri-laminate asphalt composition on gazebo	Yes

## ISSUES

### Accessory Structures

The accessory structures are consistent with the Zoning Ordinance in terms of height, size and impervious surface coverage. Section 45.09-7, related to “Site and Architectural” review guidelines, requires the avoidance of unreasonable interference with views and privacy. The height, elevations and placement of the accessory structures on the site, when considered with the location of residential structures on adjacent lots, avoids unreasonable interference with views and privacy. The new accessory structures will be placed on a flat area immediately behind the existing residence. There will not be a need for further grading or tree and soil removal. The proposed accessory structures help to break up the bulk of the main residence and will not impair the light and air of the adjacent properties.

PUD 21 requires decks to be 3 feet from rear and side property lines. The proposed deck is 20 feet from the rear property line and approximately 40 feet from the side property line.

### Fence

The existing and proposed modifications to the perimeter fence are in conformance with the zoning ordinance with the exception of material. Pursuant to Section 54.11-5 all fence posts and supporting framework must be wood in order to maintain the rural character of the hillside. However, as noted in this section, the Planning Commission may approve an alternative material for the posts. The existing posts and retaining wall bases are comprised of concrete posts covered with stucco or gray slate tiles. The use of the concrete allows the base to act as a retaining wall, which connects to the post. The base and posts complement the residence and similar material proposed within the rear yard. Similar fence materials have been approved and installed within PUD 21 and therefore staff concludes it would be appropriate within the hillside development.

### Light Fixtures

Pursuant to Section 45.15 (Outdoor Lighting) of the Hillside Ordinance, outdoor lighting should use minimum wattage lights, which are shielded so as not to be directly visible from off-site. The applicant proposes three types of light fixtures to replace existing light fixtures. A total of 27 path lights will be installed with a 0.2-foot foot-candle light source. The path lights are 8.25 inches in height and will illuminate the front driveway area and paths in the back yard. 18 spotlights are also proposed to light up trees in the front and rear yards. The spotlights are 5.3 inches in height and will be directed up from the base of the tree. There will be four (4) post

lights at the two driveway entrances, one on each side of the driveway. The post lights will be situated on a three-foot posts with gray slate tiles. The post lights are glass with a brass finish and the brightness is proposed to be 1-foot candle. **Staff recommends** the following conditions that would achieve the objective of the ordinance:

- Reduce the wattage of the site lighting that will safely illuminate the immediate area, yet not be visible from off-site, and;
- Submit details of the replacement light fixtures for the post lights for Planning Staff approval to ensure they properly prevent illumination of adjoining properties or the creation of objectionable visual impacts on other properties or roadways.

### **Impervious Surface**

The existing impervious surface at the project site is 6,934 square feet. There will be an addition of 969 square feet of impervious surface with the proposed construction of accessory structures and the replacement of a portion of the concrete patio with pavers. The proposed total impervious surface will be 7,903 square feet.

As conditioned, the accessory structures and fence meet the intent, development standards and guidelines of the Hillside Ordinance. The structures are consistent with Section 45.09-7 (Hillside Site and Architectural Guidelines) of the Zoning Ordinance in that they do not interfere with views and privacy. The property is located on a down slope with no residences below it and is not visible from the valley floor or public rights-of way. The reduction in lighting levels will assist in reducing impacts on adjacent properties. The addition of the impervious surface with pavers and ground cover preserves the natural landscape, as does the use of wood in most of the structures. The accessory structures are not bulky in that they are openwork design (not solid) and do not impair light and air to pass through them. Grading of the site was approved with the original subdivision that created PUD 21. No permits are required for the retaining walls and landscaping that terrace the rear and side yards. Overall, the grading of the site is in concert with the existing natural contours of the hillside terrain and is consistent with the grading requirements.

### **Conformance with CEQA**

The proposed project is categorically exempt from further environmental review pursuant to Class 1, Section 15303 (New Construction or Conversion of Small Structures – including patios and fences) of the California Environmental Quality Act (CEQA) Guidelines.

### **Neighborhood/Community Impact**

On April 6, 2006, the Summit Pointe Home Owner's Association Architectural Committee reviewed and approved the proposed modifications at the project site. Additionally, the applicant has shared the proposed plans with the two adjacent property owners and has submitted a letter of agreement signed by the two neighbors dated April 6, 2006.

## **RECOMMENDATION**

Close the Public Hearing. Recommend approval of Site and Architectural Approval Amendment No. SA2006-41 to the City Council based on the Findings and Special Conditions of Approval listed below.

## **FINDINGS**

1. The proposed project is categorically exempt from further environmental review pursuant to Class 1, Section 15303 (New Construction or Conversion of Small Structures – including patios and fences) of the California Environmental Quality Act (CEQA) Guidelines.
2. The proposed layout of the site and design of the proposed buildings, structures and landscaping are compatible and aesthetically harmonious with adjacent and surrounding developments.
3. The proposed project is consistent with the General Plan Implementing Policy 2.a-I-18, which ensures that development in the hillside area is reviewed and approved such that it is keeping with the natural character of the hillside and views are protected. As conditioned, the materials, design of the accessory structures and reduction in lighting are in keeping with the natural setting and view of the hillside.
4. As conditioned, the accessory structures, lighting and fence are consistent with the Zoning Ordinance and meet the intent, development standards and guidelines of the Hillside Ordinance in terms of privacy, bulk, natural landscape, impairment of light and air and grading.

## **SPECIAL CONDITIONS**

1. This Site and Architectural Approval Amendment No. SA2006-41 is to permit the construction of new accessory structures, including a deck, gazebo, arbor and trellis, addition of new lighting and the relocation of the perimeter fence, as shown on the proposed plans and as modified by these conditions of approval. Any significant modification of this approval requires review by the Planning Commission and City Council. Any other minor modifications, per Section 42-10-2, to approved plans may be approved by the Planning Division or Planning Commission Subcommittee. (P)
2. Prior to building permit issuance, the applicant shall reduce the wattage of all the site lighting to a level acceptable to the Planning staff, that will safely illuminate the immediate area yet not be visible from off-site. (P)
3. Prior to any building permit issuance, the applicant shall submit details of the replacement post light fixture for Planning Staff approval to ensure they properly prevent illumination of adjoining properties or the creation of objectionable visual impacts on other properties or roadways. (P)

4. This project shall be conducted in compliance with all appropriate local, state, and federal laws and regulations. (P)
5. At the time of building permit plan check submittal, the developer shall submit a grading plan and a drainage study prepared by a registered Civil Engineer. The drainage study shall analyze the existing and ultimate conditions and facilities. The study shall be reviewed and approved by the City Engineer and the developer shall satisfy the conclusions and recommendations of the approved drainage study prior to occupancy/final permit issuance. (E)
6. The U.S. Environmental Protection Agency (EPA) has empowered the San Francisco Bay Regional Water Quality Control Board (RWQCB) to administer the National Pollution Elimination Discharge System (NPDES) permit. The NPDES permit requires all dischargers to eliminate as much as possible pollutants entering our receiving waters. Contact the RWQCB for questions regarding your specific requirements at (800) 794-2482. For general information, contact the City of Milpitas at (408) 586-3329. (E)
7. It is the responsibility of the developer to obtain any necessary permits or approvals from affected agencies and private parties. Copies of these approvals or permits must be submitted to the City of Milpitas Engineering Division. (E)
8. Prior to building permit issuance, developer must pay all applicable development fees. (E)
9. Per Milpitas Municipal Code Chapter 2, Title X (Ord. No. 201), developer may be required to obtain a permit for removal of any existing tree(s). Contact the Street Landscaping Section at (408) 586-2601 to obtain the requirements and forms. (E)
10. The Flood Insurance Rate Map (FIRM) issued by the Federal Emergency Management Agency (FEMA) under the National Flood Insurance Program shows this site to be in Flood Zone "D". (E)

(P) = Planning Division

(E) = Engineering Division



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Planning Commission Date: August 23, 2006

Item No.

## MILPITAS PLANNING COMMISSION AGENDA REPORT

Category: Public Hearing

Report prepared by: Cindy Hom

Public Hearing: Yes: X No: \_\_\_\_\_

Notices Mailed On: 6/2/06

Published On: 6/1/06

Posted On: 6/2/06

**TITLE:** USE PERMIT AMENDMENT NO. UA2006-2

**Proposal:** A request for approval to add sales of all types of alcohol in conjunction with an existing convenience store.

**Location:** 1491 South Main Street (APN: 086-18-052)

**RECOMMENDATION:** Continue to September 27, 2006.

**Applicant:** Aslam Ali, 1491 South Main Street, Milpitas, CA 95035

**Property Owner:** Same as above

**Previous Action(s):** "S" Zone approval and amendments, use permit, and subsequent denials

**Environmental Info:** Categorically exempt from further environmental review pursuant to Class 1, Section 15301 ("Existing Facilities"—"... permitting, ... licensing ... of existing ... private structures ... involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination") of the California Environmental Quality Act (CEQA) Guidelines.

**General Plan Designation:** General Commercial

**Present Zoning:** General Commercial (C2) with "S" Combining District

**Existing Land Use:** Convenience store

**Agenda Sent To:** Applicant and property owner  
Richard Warren, 929 Fresno Avenue, Berkley, CA 94707  
Pat Forrest, Starlite Pines HOA, 3851 Charter Park Drive, San Jose, CA 95136  
Russ Bargstadt, 1307 Stardust Way, Milpitas, CA 95035

Attachments: N/A

PJ No. 2450

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On June 14, 2006, the Planning Commission recommended this application be continued in order to allow the applicant additional time to work with the Pines' Home Owner's Association (HOA) and surrounding neighborhood residents. The applicant held a community outreach meeting with the immediate neighbors on August 3, 2006 to discuss the neighborhood concerns identified during the Planning Commission meeting. A second community meeting with the Pines HOA is scheduled on September 11, 2006, therefore the applicant is requesting the application be continued to the September 27, 2006 Planning Commission meeting.

**Letter of Explanation Regarding Proposal for Landscape Work at 1608  
Pebble beach Court, Milpitas, CA.**

China Garden Landscape Company, a design and build landscape construction company is hired by the owner, Tracy Lee, to re-work her front and back yard landscape at 1608 Pebble Beach Court, Milpitas.

**Brief description of the landscape work:**

Simple changes will be made at the front yard. More seasonal plants, realign the front entry pathway, and adding 4 piers with lights to invite / direct guests and friends to the residence.

The backyard will be more functional by relocating fencing to the property line, and adding the gazebo, deck, arbor and trellis for different activities with friends and family or simple enjoyment in her privacy of her backyard garden. For details, please see the landscape package.



Prepared by:

China Garden Landscape Co Inc.  
223 Del Monte Ave.  
South San Francisco, Ca 94080  
650.588.9218 (O)  
650.871.6598 (F)

Date: July 10, 2006





*Summitpointe*

*Homeowner's Association*

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1657 Country Club Drive  
Milpitas, CA 95035  
(408) 946 7579

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Momo Ishijina,  
City Of Milpitas  
Planning Department

**RE: Tracy Lee 1608 Pebble Beech Ct, Milpitas**

The SummitPointe Home-Owners Association Architectural Committee has reviewed and approved Ms Lee's landscaping improvement plans of 04/06/2006.

If you have any further questions, please do not hesitate to contact me at the above address.

Yours sincerely,

Lynne Beard  
Property Manager  
SummitPointe HOA

*Lynne Beard*

[tracyLeeLetter.doc]



**Notice of Landscape Work at 1608 Pebble beach Court, Milpitas, CA.**

China Garden Landscape Company, a design and build landscape construction company is hired by the owner, Tracy Lee, to re-work her front and back yard landscape at 1608 Pebble Beach Court, Milpitas.

**Brief description of the landscape work:**

Simple changes will be made at the front yard. More seasonal plants realign the front entry pathway, and adding 4 piers with lights to invite / direct guests and friends to the residence.

The backyard will be more functional by relocating fencing to the property line, and adding the gazebo, deck, arbor and trellis for different activities with friends and family or simple enjoyment in her privacy of her backyard garden. For details, please see the landscape package.

**For your review and approval:**

Please review the attached landscape package for Tracy's residence. If you have any concerns or comments that might affect your home, please feel free to contact us at 650-588-9218 or contact Tracy directly. If you do not have objections, please sign below and send it back to the owner, Tracy Lee.

CHINA GARDEN  
Landscape Company, Inc.

*Your attention is greatly appreciated by Tracy and China Garden Landscape Co.*

We, Mr. & Mrs. Lorraine & Pepita Milken have no objections with the landscape work at Tracy Lee's Residence, at 1608 Pebble Beach Court, Milpitas, CA.

Signed: \_\_\_\_\_

Print Name: \_\_\_\_\_

Address: \_\_\_\_\_

Date: \_\_\_\_\_

Pepita Milken  
PEPITA MILKEN  
1594 Pebble Beach Ct.  
Milpitas, CA 95035  
4/5/06





**Notice of Landscape Work at 1608 Pebble beach Court, Milpitas, CA.**

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**For your review and approval:**

Please review the attached landscape package for Tracy's residence. If you have any concerns or comments that might affect your home, please feel free to contact us at 650-588-9218 or contact Tracy directly. If you do not have objections, please sign below and send it back to the owner, Tracy Lee.

CHINA GARDEN  
Landscape Company, Inc.

*Your attention is greatly appreciated by Tracy and China Garden Landscape Co.*

We, Mr. & Mrs. Terrence Hu have no objections with the landscape work at Tracy Lee's Residence, at 1608 Pebble Beach Court, Milpitas, CA.

Signed: \_\_\_\_\_

Print Name: \_\_\_\_\_

Address: \_\_\_\_\_

Date: \_\_\_\_\_



Impervious area	
Building & garage:	2,972 sq. ft.
Driveway:	2,291 sq. ft.
Arbor #1 & Slate Patio:	441 sq. ft.
Arbor #2 & Slate Patio:	100 sq. ft.
Pavers on Ground Patio:	110 sq. ft.
Gazebos:	108 sq. ft.
Deck:	630 sq. ft.
Dry Creek Edge:	181 sq. ft.
Paths and Walks:	1,070 sq. ft.
<b>Total:</b>	<b>7,943 sq. ft.</b>

Total landscaped area: 12,101 sq. ft.  
Total turf & water: 2,998 sq. ft.  
24.8% of landscaped area  
Total non-drought tolerant planting excluding turf: 353 sq. ft.  
3.9% of landscaped area, excluding turf

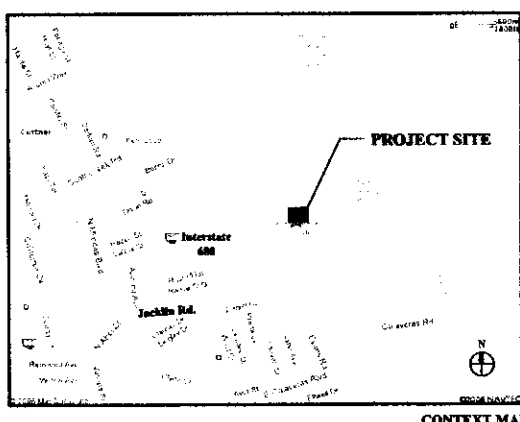
**Scope of Work:**

**Scope of Work:**  
A brief description of the landscape work is described below.

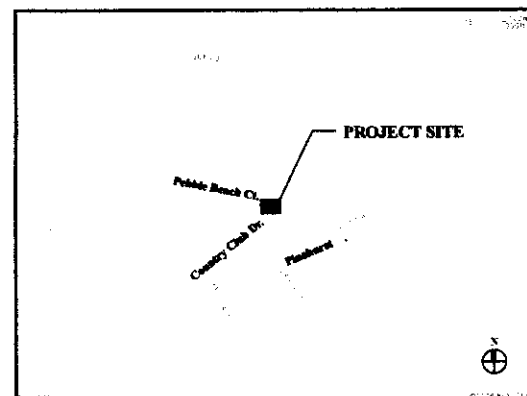
**Front Yard:** In addition to planting modification, a total of four post lights on piers will be added at the corners of the driveway.

Backyard: Existing grade will be maintained. The 6' metal fence with piers will be relocated along the property line. Style of the fence is similar to adjacent neighbor, 1594 Pebble Beach Court. A total of four structural elements-

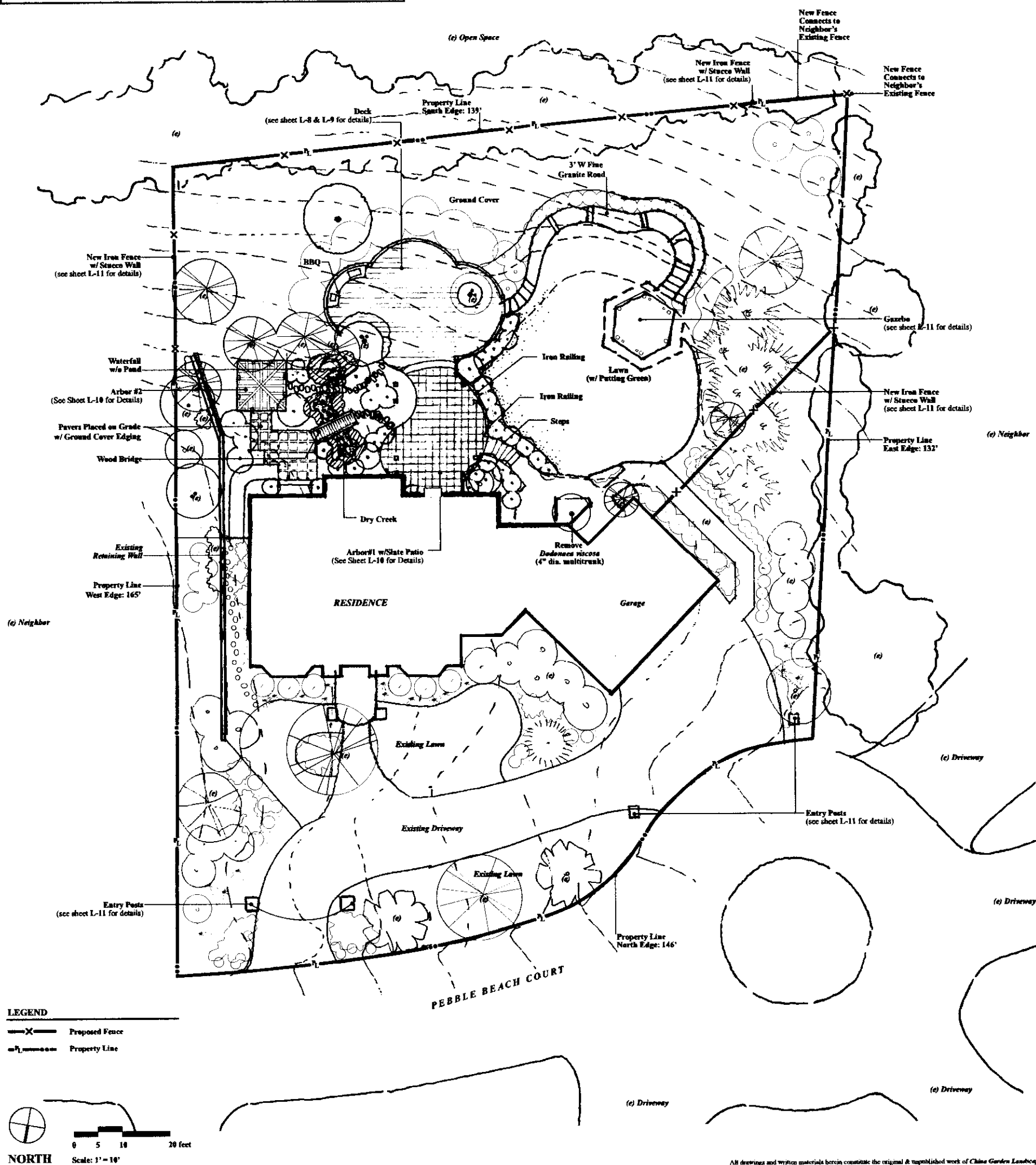
Style of the fence is similar to adjacent neighbor, 1594 Pebble Beach Court. A total of four structural elements-arbor #1, arbor #2, gazebo, and deck, will also be added in the backyard. For details, please refer to this package.



### CONTEXT MAP



### LOCATION MAP



All drawings and written materials herein constitute the original & unpublished work of China Garden Landscape Co., Inc. and may not be duplicated, used or disclosed without the written consent of China Garden Landscape Co., Inc.

**L-1**

**SHEET**

**JOB:**

**BY-AL**

DATE:

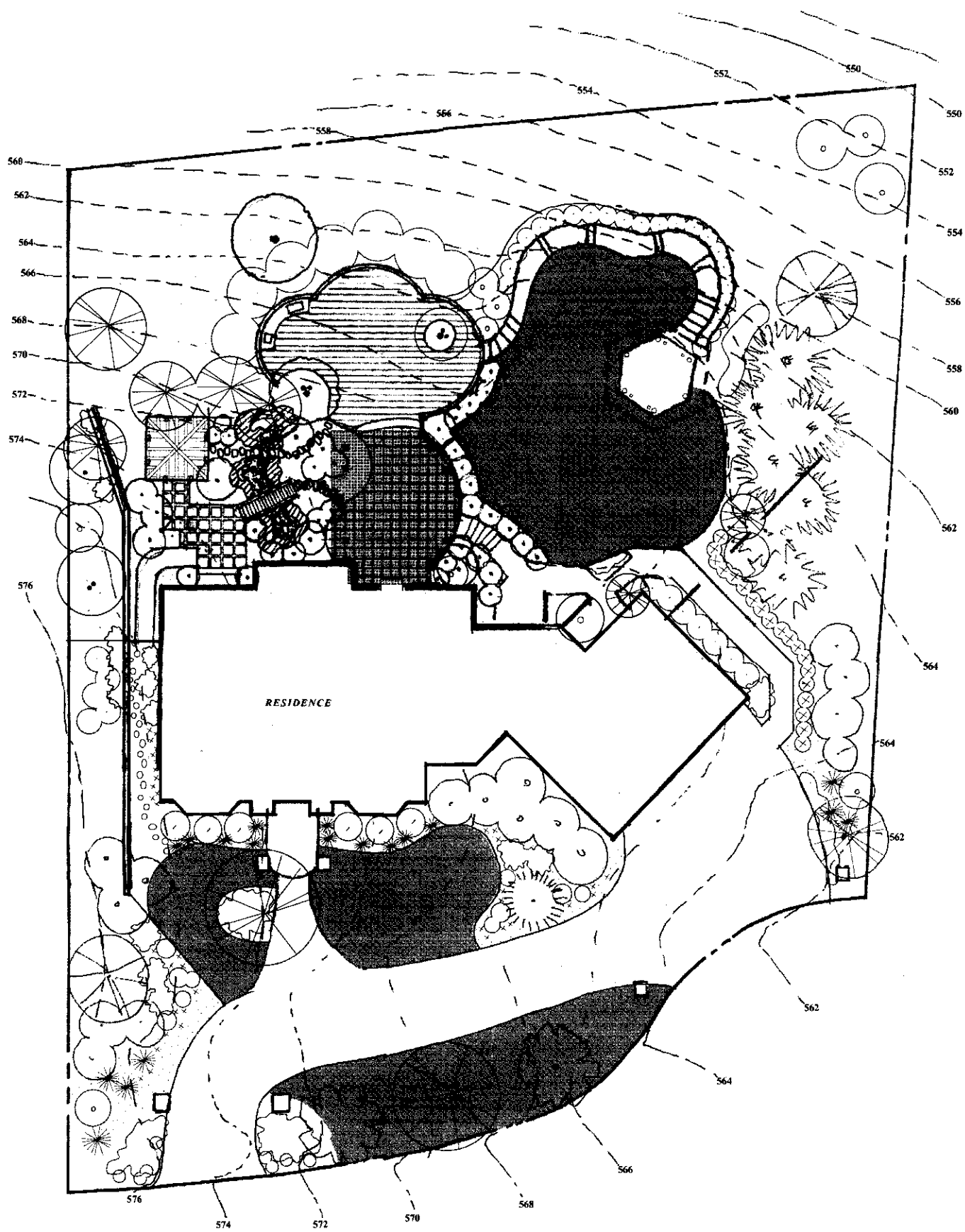
## LANDSCAPE SITE PLAN

**LEE'S RESIDENCE**  
1608 Pebble Beach Court  
Milpitas, CA



**China Garden Landscape Co. Inc.**  
223 Del Monte Ave., South San Francisco, CA  
(O) 650.588.9218  
(F) 650.871.6596  
#C732861





Note:  
Overall existing grade to remain.



0 5 10 20 feet  
Scale: 1" = 10'

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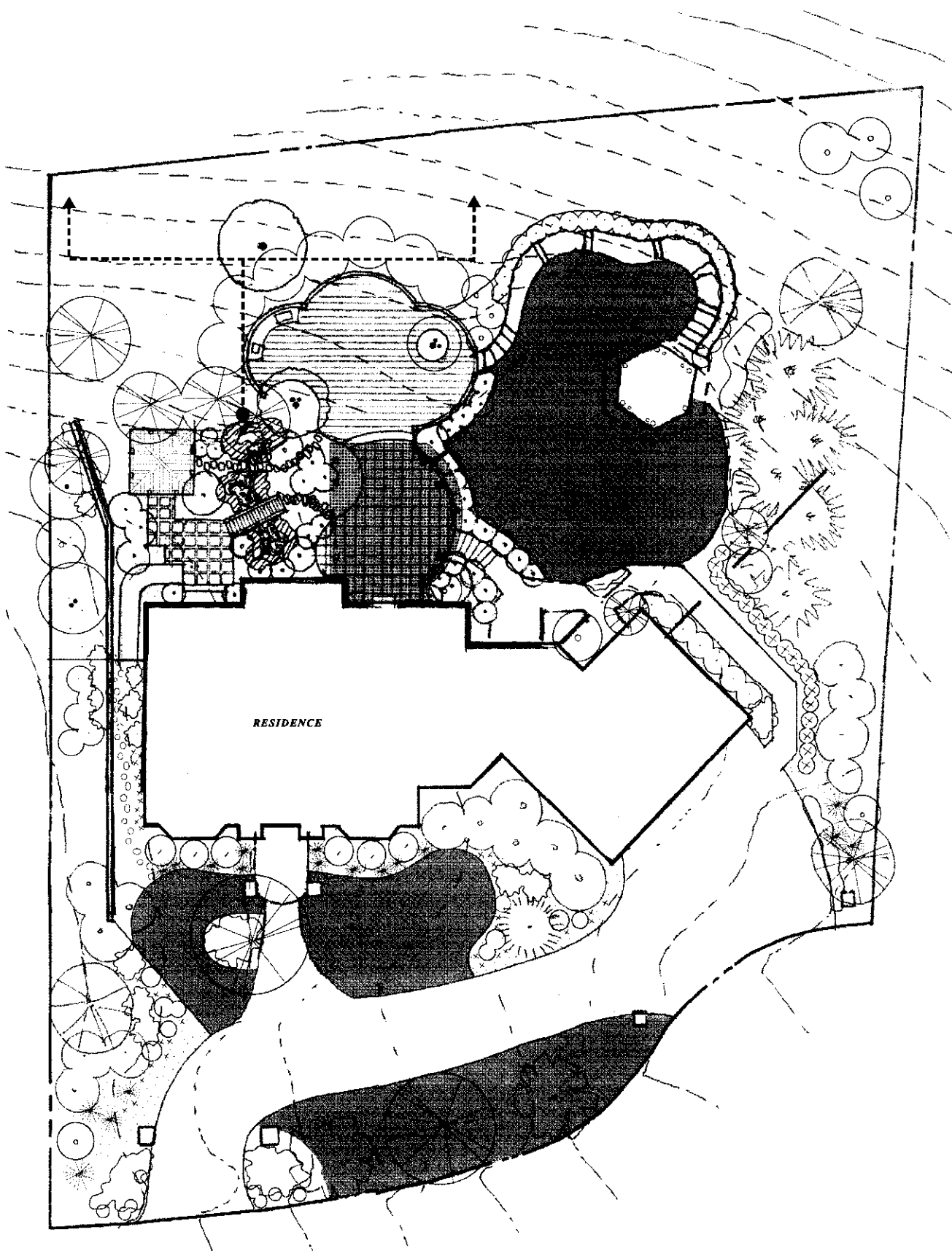
L-3

GRADING PLAN

LEE'S RESIDENCE  
1608 Pebble Beach Court  
Milpitas, CA



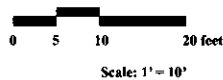
China Garden Landscape Co. Inc.  
223 Del Monte Ave., South San Francisco, CA  
(O) 650.588.9218  
(F) 650.871.6598  
#C732861



Note:  
1. Existing drainage system will be cleaned and repaired.  
2. Existing drainage system will be modified to fit the new landscape.

LEGEND

- 6" Drain Inlet
- 4" Perforated Pipe



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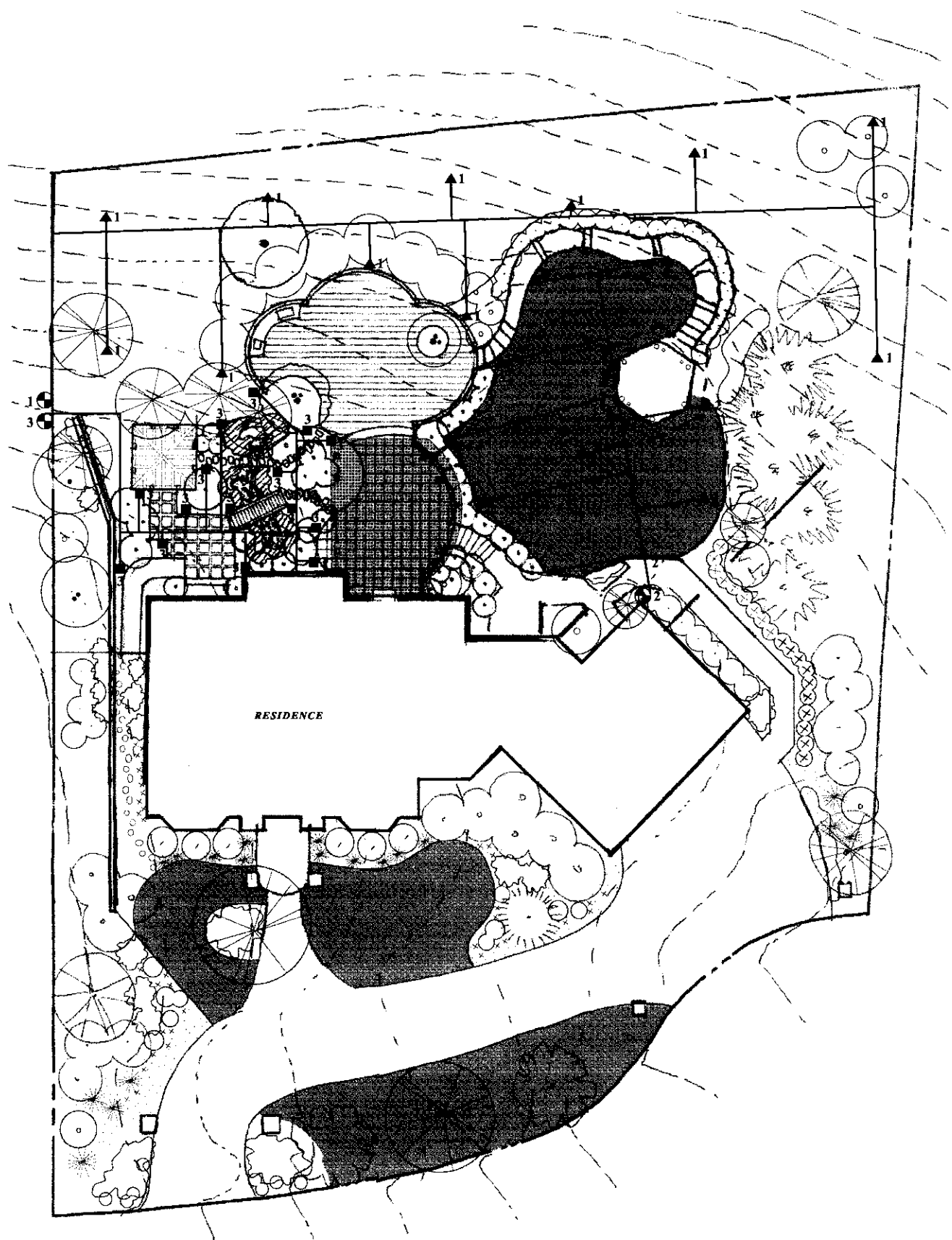
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DRAINAGE PLAN

LEE'S RESIDENCE  
1608 Pebble Beach Court  
Milpitas, CA



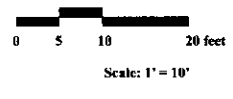
China Garden Landscape Co. Inc.  
223 Del Monte Ave., South San Francisco, CA  
(O) 650.588.9218  
(F) 650.871.6598  
#C732861



Note:  
1. New irrigation lines connect to existing irrigation system.  
2. Existing irrigation system will be modified to fit the new landscape.  
3. Existing irrigation at front yard will be modified according to new planting scheme.  
4. Actual location of existing irrigation will be located on site.

LEGEND

- Low Pressure Pop-Head Sprinkler Heads
- Low Pressure Spray Heads
- Remote Control Valve, Rainbird DVF Series



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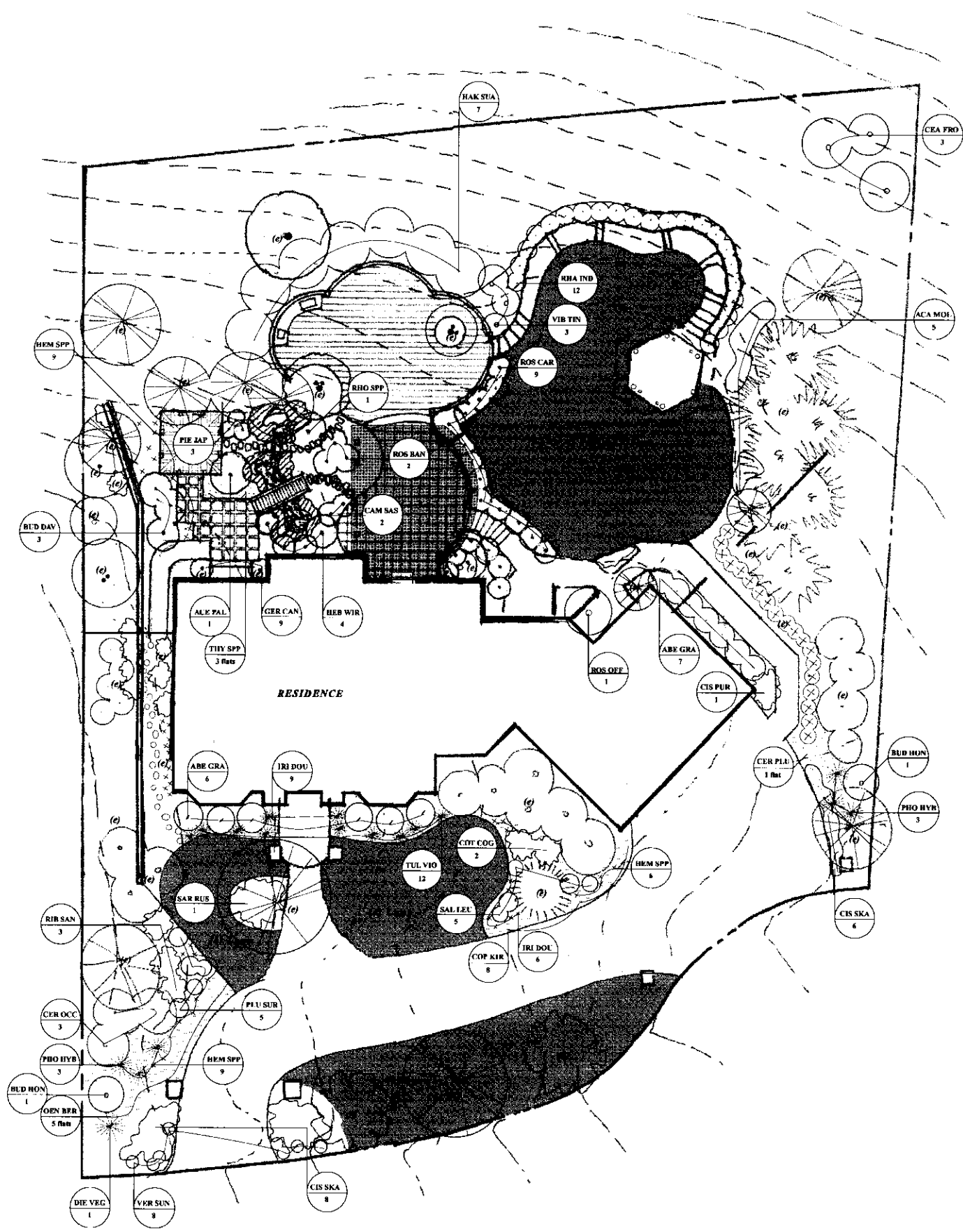
L-5

IRRIGATION PLAN

LEE'S RESIDENCE  
1608 Pebble Beach Court  
Milpitas, CA



China Garden Landscape Co. Inc.  
223 Del Monte Ave., South San Francisco, CA  
(O) 650.598.9218  
(F) 650.871.6598  
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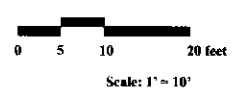
LEGEND

VER SUN	PLANT SYMBOL
2	QUANTITY

RECOMMENDED PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY
Trees			
ACE PAL	<i>Acer palmatum 'Aronpale'</i>	Red Japanese Maple	1
CER OCC	<i>Cercis occidentalis</i>	Western Redbud	3
Shrubs			
ABE GRA	<i>Abelia grandiflora</i>	Glossy Abelia	13
BUD DAY	<i>Buddleia davidii 'Pyramid'</i>	Purple Emperor Butterfly Bush	3
BUD HON	<i>Buddleia davidii 'Honeycomb'</i>	Yellow Butterfly Bush	2
CAM SAS	<i>Camellia sasanqua</i>	Camellia	3
CEA PRO	<i>Ceanothus 'Preston Blue'</i>	Fruity Blue California Lilac	3
CIS SKA	<i>Cistus x skanbergii</i>	Pink Rockrose	14
CIS PUR	<i>Cistus x purpureus</i>	Orchid Rockrose	1
COY COG	<i>Cotinus coggygria</i>	Smoke Bush	2
HAK SUA	<i>Hakea suaveolens</i>	Sweet Hakea	7
HEB WIR	<i>Hebe 'Wiri Blush'</i>	Wiri Blush Hebe	7
PIE JAP	<i>Pieris japonica 'Parity'</i>	Parity Lily-of-the-Valley Shrub	3
RHA IND	<i>Rhododendron indica</i>	Indian Hawthorn	12
RHO SPP	<i>Rhododendron hybrid</i>	Hybrid Rhododendron	1
RIB SAN	<i>Ribes sanguineum</i>	Red Flowering Currant	3
ROS WLO	<i>Rosa 'Carefree Beauty'</i>	Carefree Beauty Rose	9
ROS OFF	<i>Rosmarinus officinalis 'Lockwood de Forest'</i>	Rosemary	1
SAR RUS	<i>Sarcococca ruscifolia</i>	Fragrant Sarcococca	1
VIB TIN	<i>Viburnum tinus</i>	Laurustinus	3
Perennials			
ACA MOS	<i>Acanthus mollis</i>	Bear's Breech	5
COP KIR	<i>Coprosma kirkii</i>	Creeping Coprosma	3
DIE VEG	<i>Dielsia vegeta</i>	Fortnight Lily	1
HEM SPP	<i>Heimerocallis hybrid</i>	Daylily	24
IRI DOU	<i>Iris douglasiana</i>	Douglas Iris	9
IRI SPP	<i>Iris hybrid</i>	Hybrid Iris	6
PHO HYB	<i>Phloxia hybrid 'Yellow Wave'</i>	Yellow Wave New Zealand Flax	6
PLU SUR	<i>Plumbago auriculata</i>	Cape Plumbago	5
SAL LEU	<i>Salvia leucantha</i>	Mexican Bush Sage	5
TUL VIO	<i>Tulbaghia violacea</i>	Society Garlic	12
VER HYB	<i>Veronica 'Sunny Border Blue'</i>	Speedwell	8
Groundcovers			
CER PLU	<i>Cerastium plumbaginoides</i>	Dwarf Plumbago	1 flat
CER CAN	<i>Cerastium x cantabrigiense 'Cambridge'</i>	Cambridge Hardy Cranesbill	9
OEN BER	<i>Oenothera berlandieri</i>	Mexican Evening Primrose	3 flats
THY SPP	<i>Thymus hybrid</i>	Hybrid Groundcover Thyme	3 flats
Vines			
ROS BAN	<i>Rosa banksiae</i>	Lady Bank's Rose	2

Total landscaped area: 12,101 sq. ft.  
Total turf & water: 2,998 sq. ft.  
24.8% of landscaped area  
Total non-drought tolerant planting excluding turf: 353 sq. ft.  
3.9% of landscaped area, excluding turf



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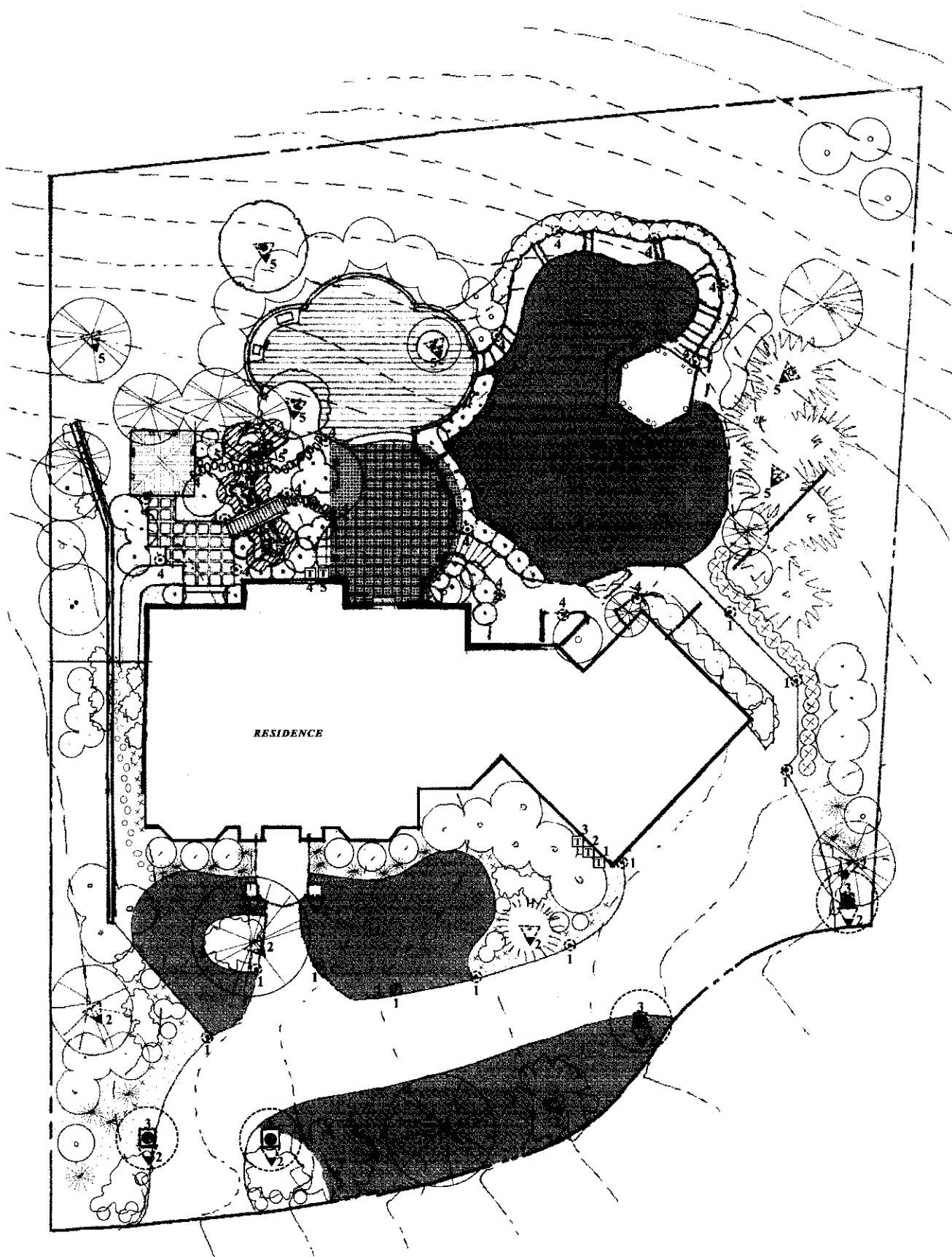
L-6

PLANTING PLAN  
& PLANTING LIST

LEE'S RESIDENCE  
1608 Pebble Beach Court  
Milpitas, CA

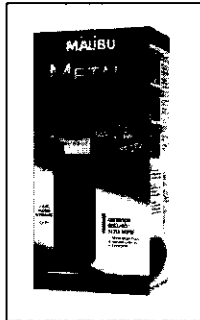
China Garden Landscape Co. Inc.  
180 El Camino Real, Milpitas, Ca 94030  
(O) 650.692.9218  
(F) 650.871.6598  
#C732861



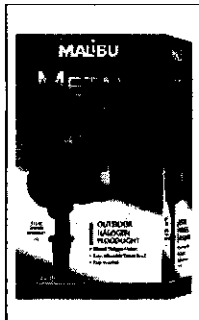


LEGEND

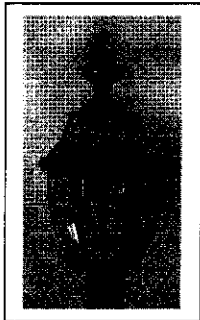
Item	Quantity	Specifications	Model	Station
FRONT YARD				
● Path Light	10	8W / 12V	Malibu CL635R, Black Finish	1
▲ Spot Light (Up)	12	50W / 12V	Malibu CLI, Black Finish	2
● Post Light	4	150W / 110V	Quoizel NY9040AC, Brass Finish	3
BACKYARD				
◎ Path Light	17	8W / 12V	Malibu CL635R, Black Finish	4
▲ Spot (Up) Light	6	50W / 12V	Malibu CLI, Black Finish	5
△ Pond Spot Light	2	50W / 12V	Malibu CLI, Black Finish	5
■ Standard Outdoor Electrical Inlet	3			
T Transformer, 900V			Malibu ML600TW or ML900TW or similar	
○ per foot candle				



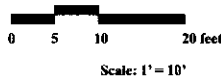
Path Light  
model: CL635R by Malibu



Spot Light  
model: CLI by Malibu



Post Light  
model: NY9042AC by Quoizel



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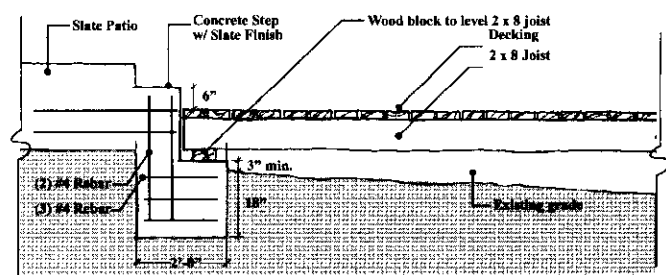
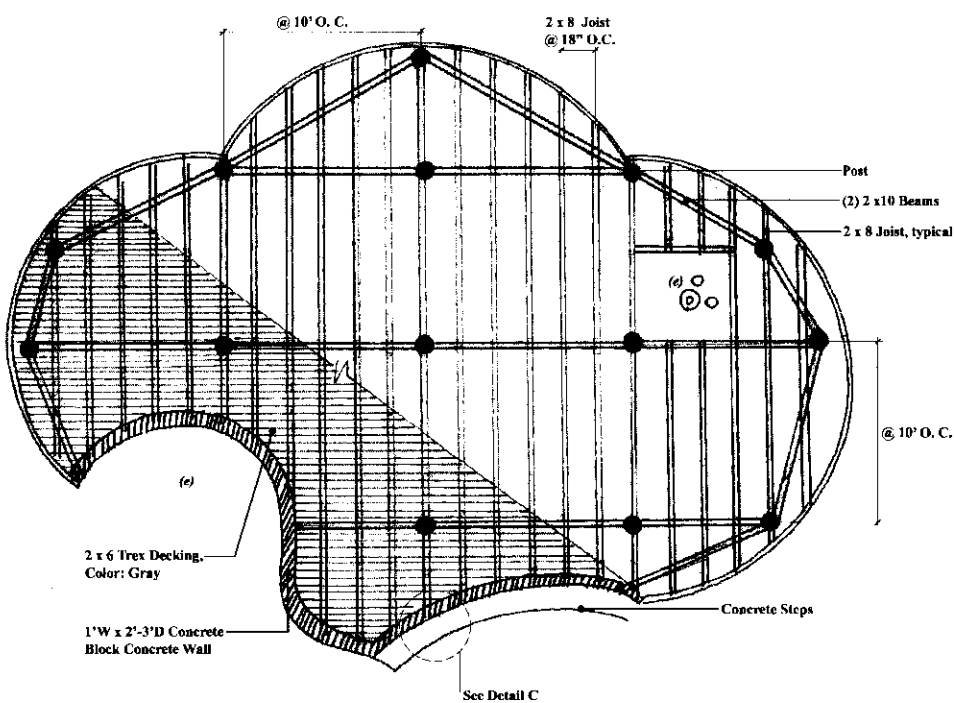
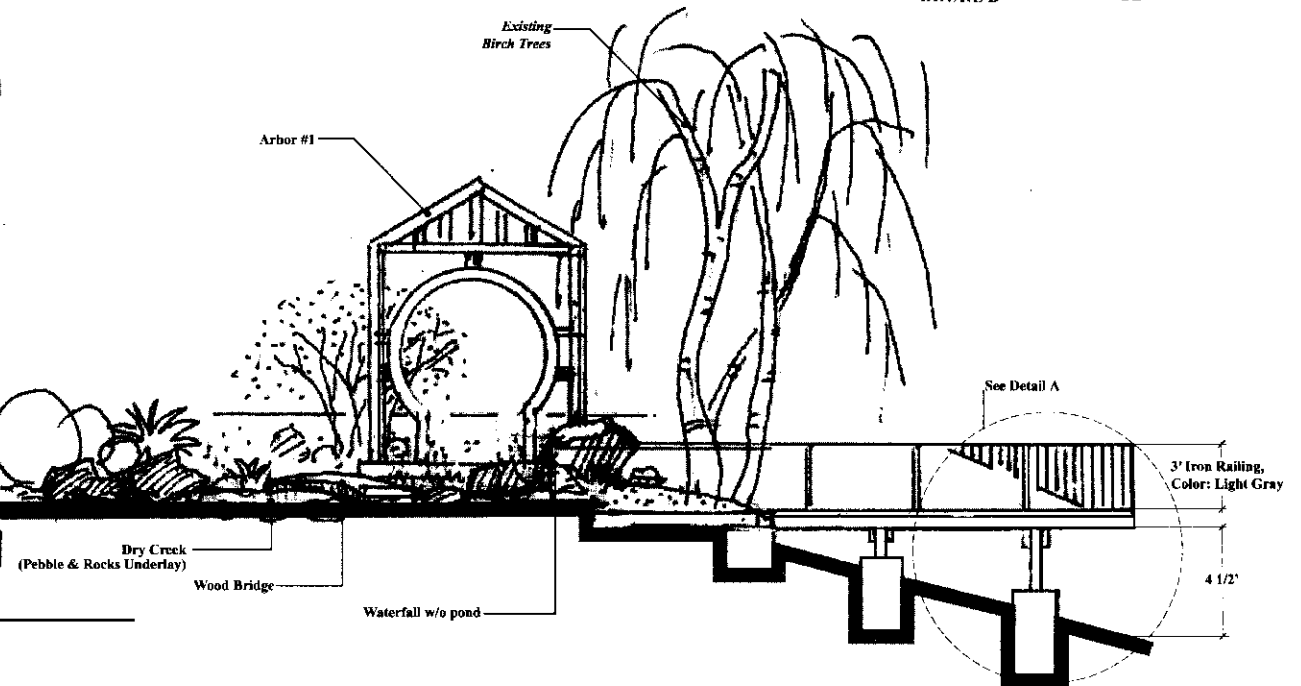
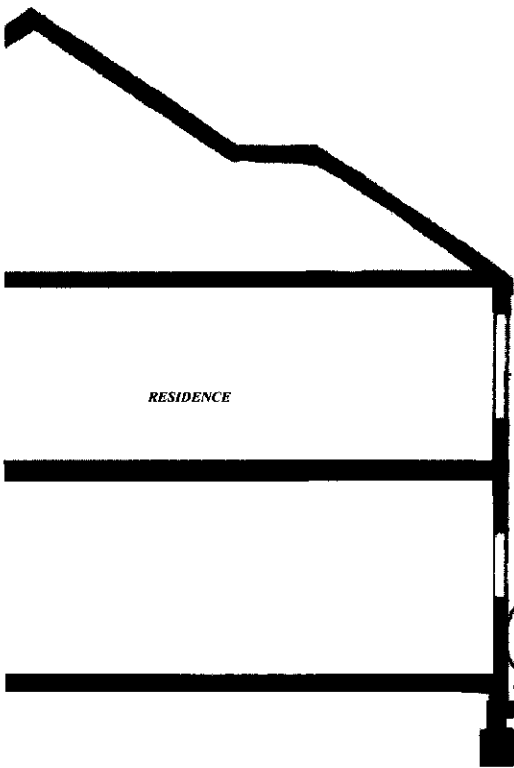
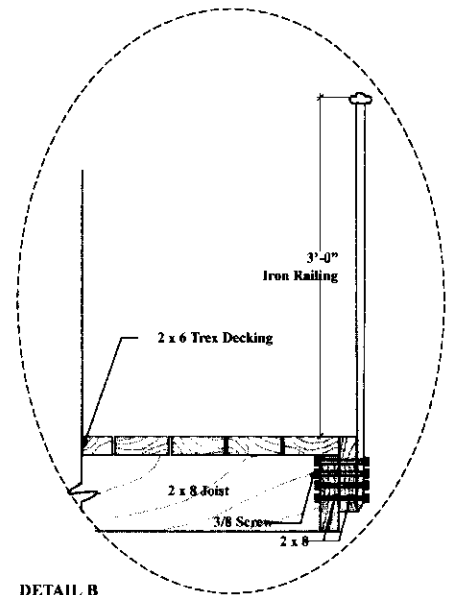
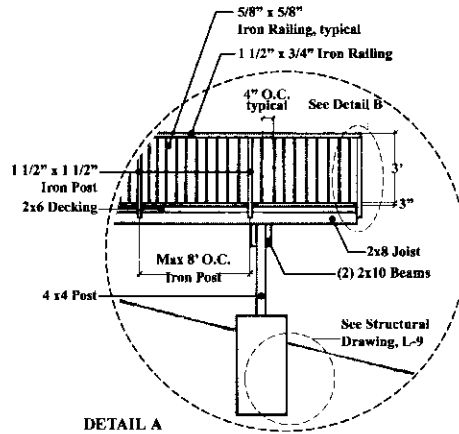
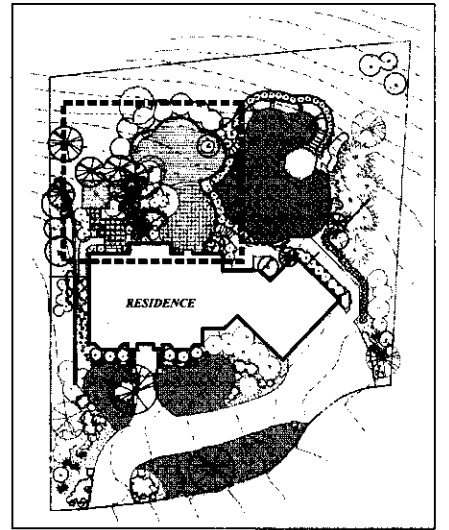
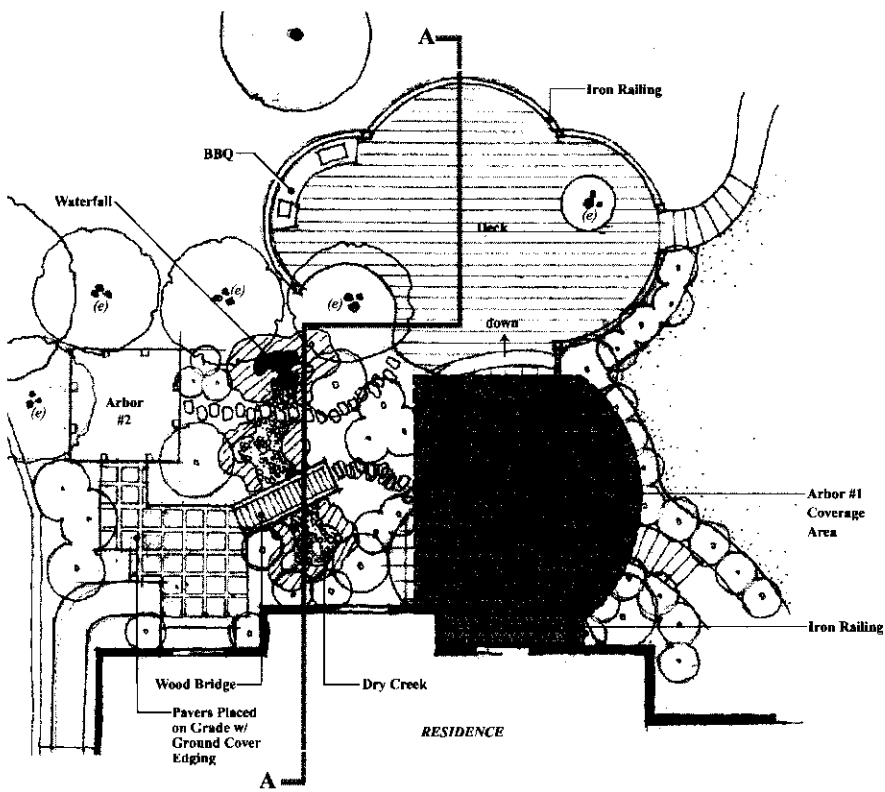
L-7

LIGHTING PLAN

LEE'S RESIDENCE  
1608 Pebble Beach Court  
Milpitas, CA



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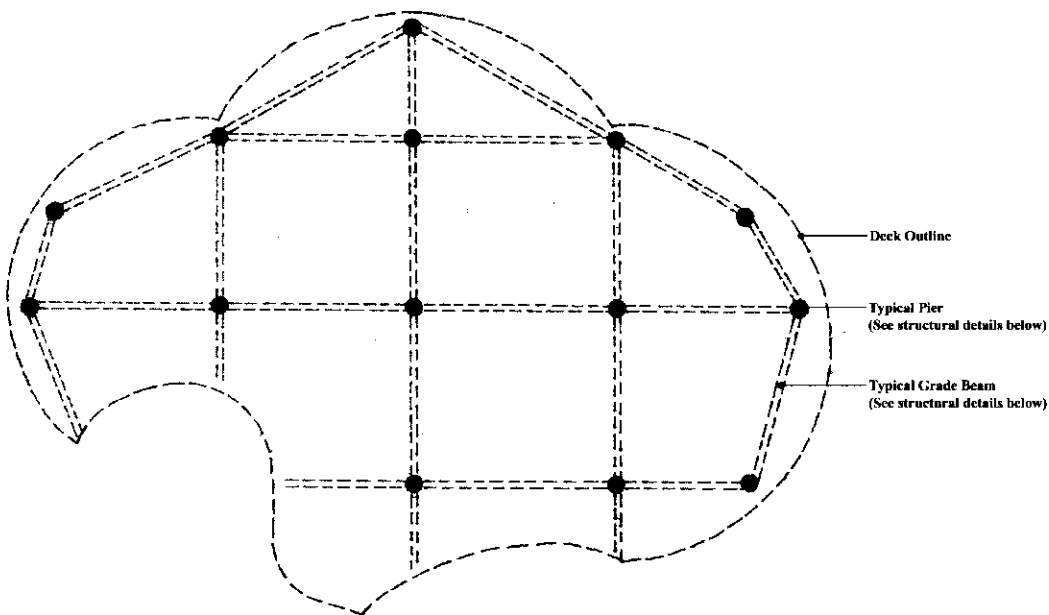
L-8

DECK DETAILS

LEE'S RESIDENCE  
1608 Pebble Beach Court  
Milpitas, Ca



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(F) 650.871.6598  
#C732861



Deck Foundation Plan

SCALE: 1/4" = 1'-0"

HANWAY

Design - Engineering - Construction

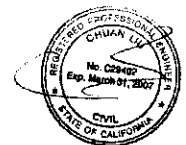
DECK FOUNDATION  
ENGINEERING CALCULATION

FOR

LEE'S RESIDENCE

AT

1608 Pebble Beach Court  
Milpitas, CA



1225 Tires Way, Sunnyvale, CA 94086 Tel: (408) 733-3755 Fax: (408) 733-7591

HANWAY

Page 1 of 3

DECK LOAD

D.L.	10 PSF
L.L.	40 PSF
T.L.	50 PSF

SOILLY FILL PRESSURE = 65 PSF  
FRICTION VALUE = 350 PSF  
PASSIVE PRESSURE = 200 PSF

LATERAL ANALYSIS

$$F_x = \frac{0.5 \text{ Ca I}}{R} W$$

$$Ca = 0.572$$

$$I = 1.0$$

$$R = 4.5$$

$$F_x = 0.718 W$$

$$\text{ASD LOAD}$$

$$F_x \text{ USE } 0.7 W$$

HANWAY

Page 2 of 3

PIER TO SUPPORT THE DECK

$$W_T = 58 \times 10 \times 10' + 150 \times 3.14 \times 1.67 \times 7.5$$

$$= 5800' + 2465' = 8265'$$

FRICTION VALUE = 350 PSF

USE 20" DIAM PIER WITH 7.5' LONG

$$PIER = 350 \times 3.14 \times 1.67 \times 7.5 = 8265' > 8265' \text{ OK}$$

CHECK THE LATERAL FORCE

$$W_{HL} = 18 \times 6 \times 6' \times 648' \text{ USE } 700'$$

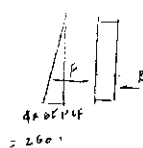
$$V = 0.7 \times 700 = 210'$$

$$F_x = 45 \times 60 \times 1.33 \times 0.572$$

$$V_T = 210 \times 1.33 = 280'$$

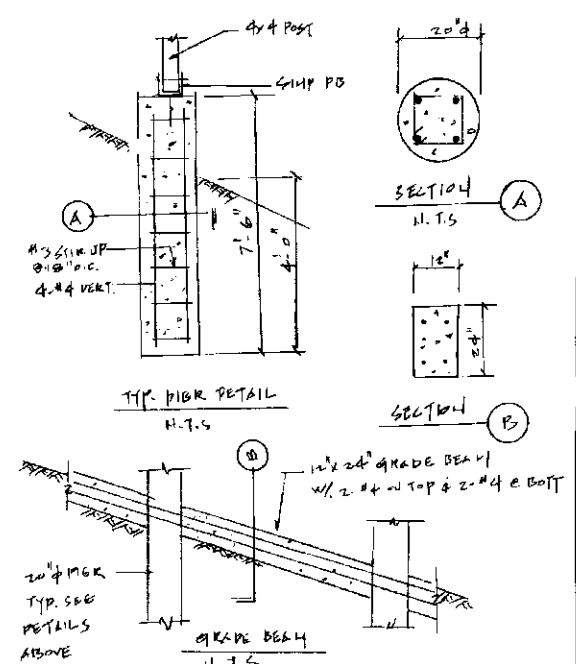
$$R = 200 \times 2 \times 1.33 \times 0.5 = 1330'$$

$$\frac{R}{V_T} = \frac{1330}{280} = 4.75 > 1.5 \text{ OK}$$



HANWAY

Page 3 of 3



Structural Calculation prepared by Haniway Co.

original signed document attached

WAYNE TING & ASSOCIATES, INC.  
GEOTECHNICAL CONSULTANTS

Project No. 2385  
23 April 2006

Ms. Tracy Lee  
1608 Pebble Beach Court  
Milpitas, CA 95035

Subject: **PROPOSED DECK**  
1608 Pebble Beach Court  
Milpitas, California

- References:
- Geotechnical Report  
By Earth Systems  
Dated September 30, 1981
  - Grading Plan  
By Carl F. Schoess Land Surveyors, Inc.  
Sheet S, Dated May 1986

Dear Ms. Lee:

In accordance with your authorization, Wayne Ting & Associates, Inc. (WTAI) drilled one exploratory boring using a hand auger and reviewed references 1 and 2 in the City of Milpitas for the proposed decks.

According to the site plan (Figure 1), the proposed deck will be constructed on the backyard slopes with approximate inclination between 4:1 (horizontal/vertical). The areas are covered with trees and grass.

According to Reference 2, the above-mentioned slopes either are on the original slopes or have been gently cut during the mass grading of the construction of the existing structure.

SOIL CONDITIONS

Soils consisted of 3.0 feet of firm to stiff dark brown to brown silty clay, followed by yellowish brown medium dense clayey sand and dense sand to the maximum depth explored of 5.0 feet.

DECK FOUNDATION

Due to on-site slopes, the proposed deck should be supported by concrete friction pier and grade beam foundation. The drilled piers should have a minimum diameter of 16 inches and a minimum embedment of 7.5 feet below a lowest adjacent grade. These piers should be designed for an allowable skin friction value of 350 pounds per square foot for dead plus live loads. This value can

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Soil Engineer Report prepared by Wayne Ting & Associates

original signed document attached

Project No. 2385  
23 April 2006

skin friction value of 350 pounds per square foot for dead plus live loads. This value can be increased by one-third for total loads which include wind or seismic forces. This value is only applicable after a minimum penetration of 4 feet below the lowest adjacent finished grade has been achieved. The validity of this value is based on a minimum pier spacing of 3 pier diameters measured center-to-center.

Due to the slope gradient and the expansive soil, any piers located near or on the slope may be subjected to lateral loads imposed by creeping soils. Therefore, for all piers constructed at or within 10 feet from the top of the slope, a triangular pressure distribution of 65 p.c.f. equivalent fluid weight should be designed against the piers over 2 pier diameters along the upper 4 feet of the piers.

Resistance to lateral force may be provided by passive earth pressures mobilized along the pier length in the firm natural ground below a depth of 4 feet. Passive earth pressures may be computed as an equivalent fluid weighing of 200 pounds per cubic foot. For design of isolated piers, the allowable passive pressure may be increased by a factor of 2.

WTAI be retained for testing and observation during foundation construction phases to help determine that the design requirements are fulfilled.

LIMITATIONS AND UNIFORMITY OF CONDITIONS

Our professional services, findings, and recommendations were prepared in accordance with generally accepted engineering principles and practices. No other warranty, expressed or implied, is made.

The conclusions and recommendations contained in this report shall not be considered valid after a period of two (2) years, unless the changes are reviewed and conclusions of this report modified or verified in writing.

This report is issued with the understanding that it is the responsibility of the owner, or his representative, to ensure that the information and recommendations contained herein are brought to the attention of the Architect, Engineer, and Contractor for the project and incorporated into the plans and that the necessary steps are taken to see that the contractor and subcontractors carry out such recommendations in the field.

Very truly yours,  
WAYNE TING & ASSOCIATES, INC.

Wayne L. Ting, C.E.  
Principal Engineer

Copies: 3 to Ms. Tracy Lee



2

WAYNE TING & ASSOCIATES, INC.

1608 Pebble Beach Court, Milpitas, California		Project No. 2385		23 April 2006	
Depth (Feet)	Description	Sample No.	Soil Type	Moisture (%)	Penetration (lb/in)
1	Dark brown silty clay, firm and very moist	SC	SC	25.0	2.5
2	brown, stiff and moist	SC	SC	25.0	3.0
3	Yellowish brown clayey sand, medium dense, very moist	SC	SC	25.0	3.0
4	became to dense sand	SC	SC	25.0	3.0
5	Boring terminated at 5.0 feet. No groundwater encountered.				
6					
7					
8					
9					
10					
11					
12					
13					
14					
15					
16					
17					
18					
19					
20					
21					
22					
23					
24					
25					

WAYNE TING & ASSOCIATES, INC.  
GEOTECHNICAL ENGINEERS

BORING LOG NO. 1

Figure No. 2

Date Drilled: April 21, 2006

By: R.W.

Page No. 4

L-9

SHEET

JOB

SCALE

DATE

April 26, 2006

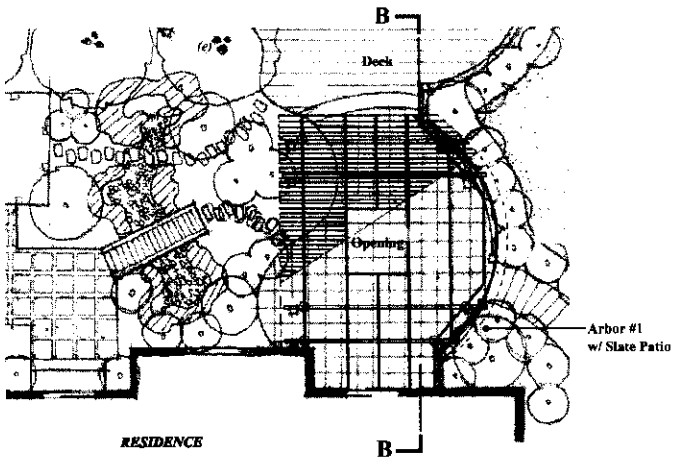
DECK DETAILS

LEE'S RESIDENCE  
1608 Pebble Beach Court  
Milpitas, Ca

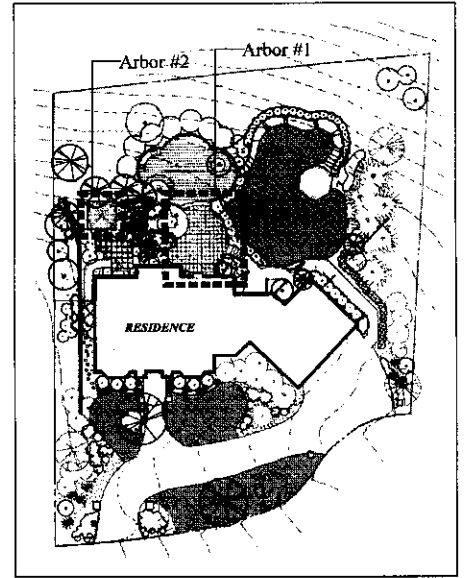


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(F) 650.871.6598  
#C732861

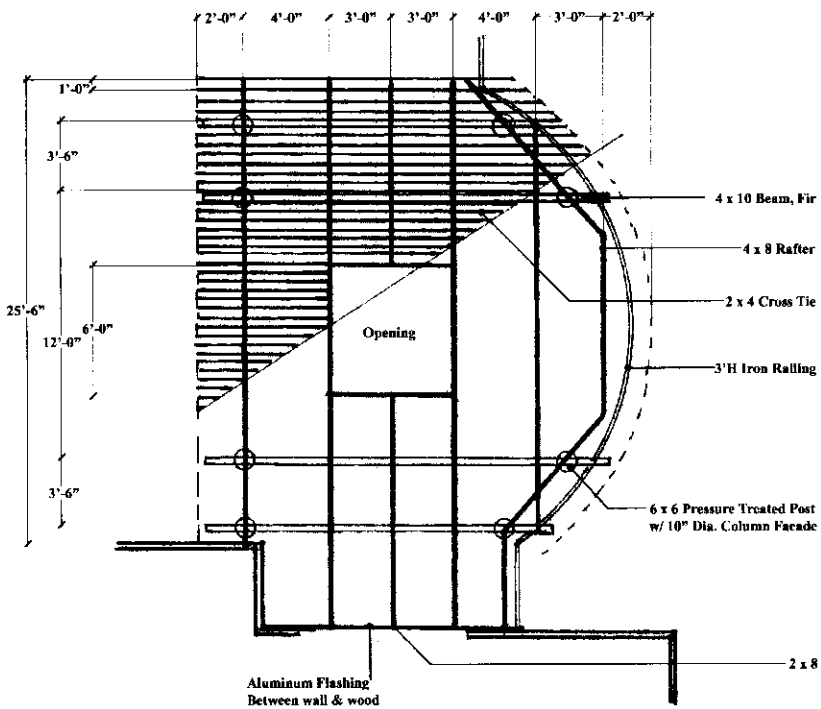
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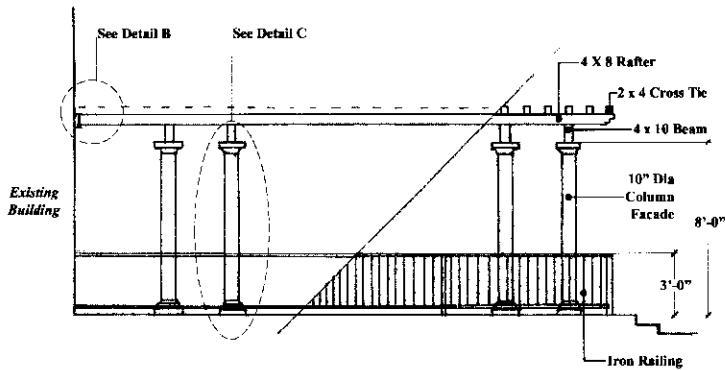
Plan View  
SCALE: 1/8" = 1'-0"



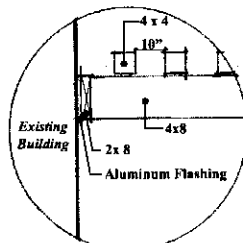
KEY MAP



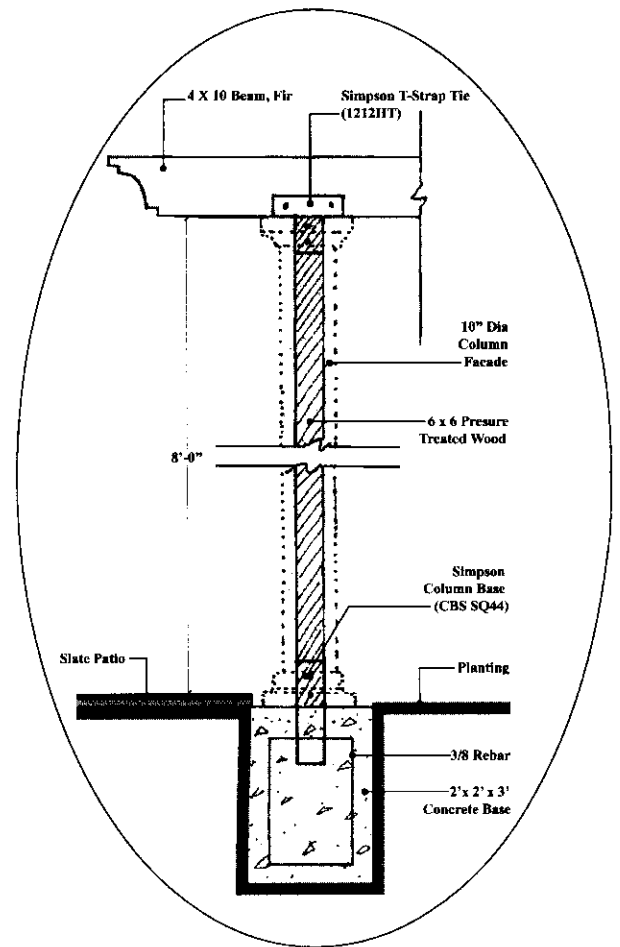
Framing Plan View  
SCALE: 1/4" = 1'-0"



Section B  
SCALE: 1/4" = 1'-0"



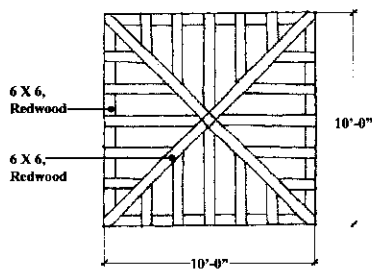
DETAIL B



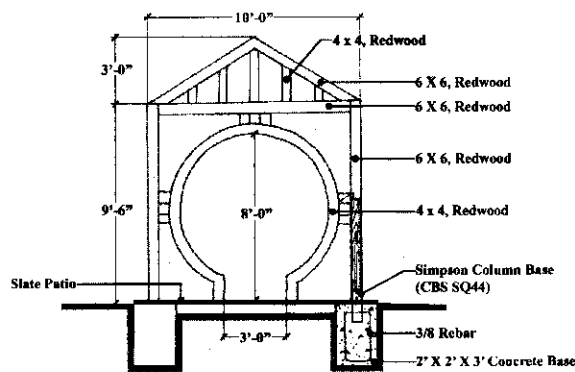
DETAIL C

#### ARBOR #1

Color: Lighter tone to match existing building wall (light gray blue)  
Material: All fir, except posts (pressure treated wood)



Plan View  
SCALE: 1/4" = 1'-0"



Section View  
SCALE: 1/4" = 1'-0"

#### ARBOR #2

Color: Tan

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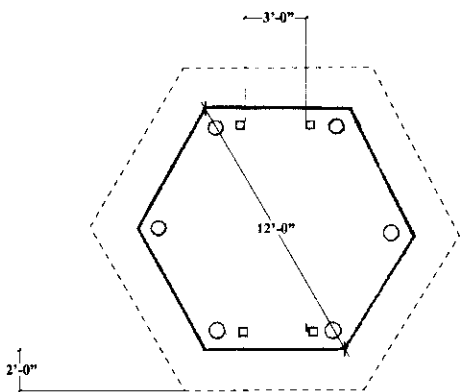
L-10

ARBOR DETAILS

LEE'S RESIDENCE  
1608 Pebble Beach Court  
Milpitas, CA

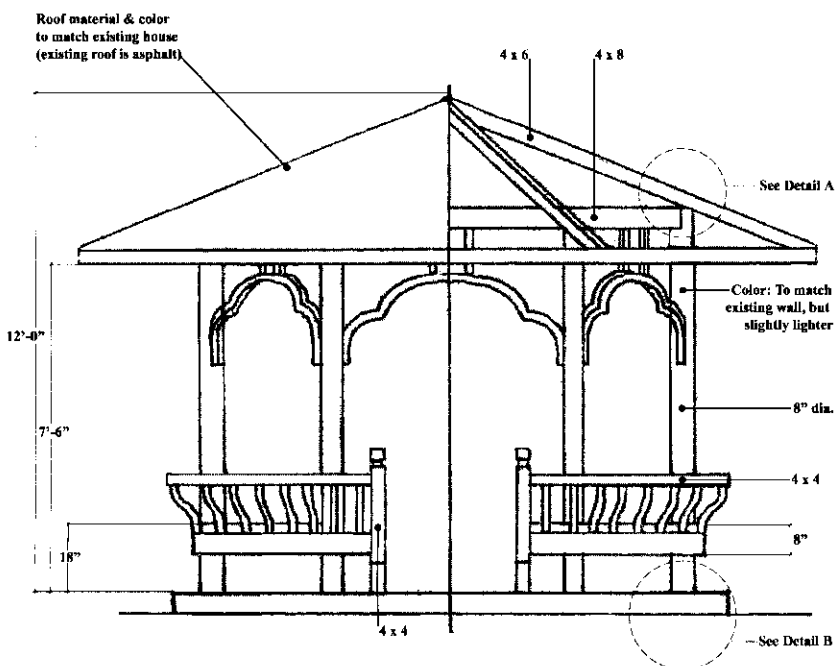


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#C732881



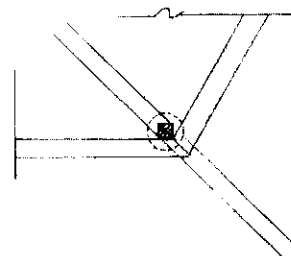
Plan View

SCALE: 1/4" = 1'-0"

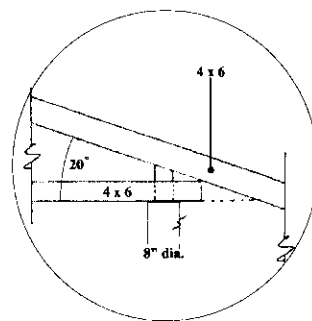


Elevation View

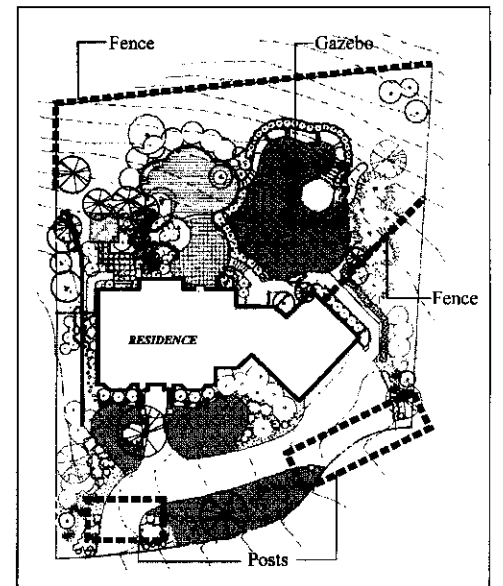
SCALE: 1/2" = 1'-0"



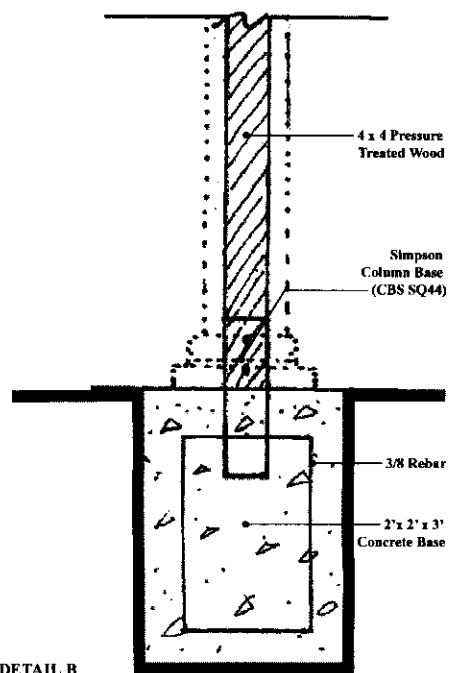
DETAIL A  
PLAN VIEW



DETAIL A

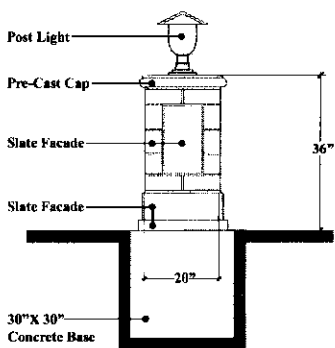


KEY MAP



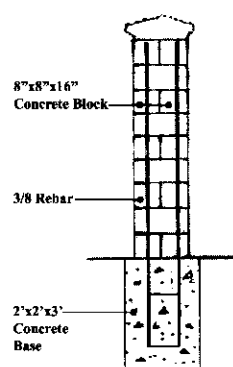
DETAIL B

## GAZEBO



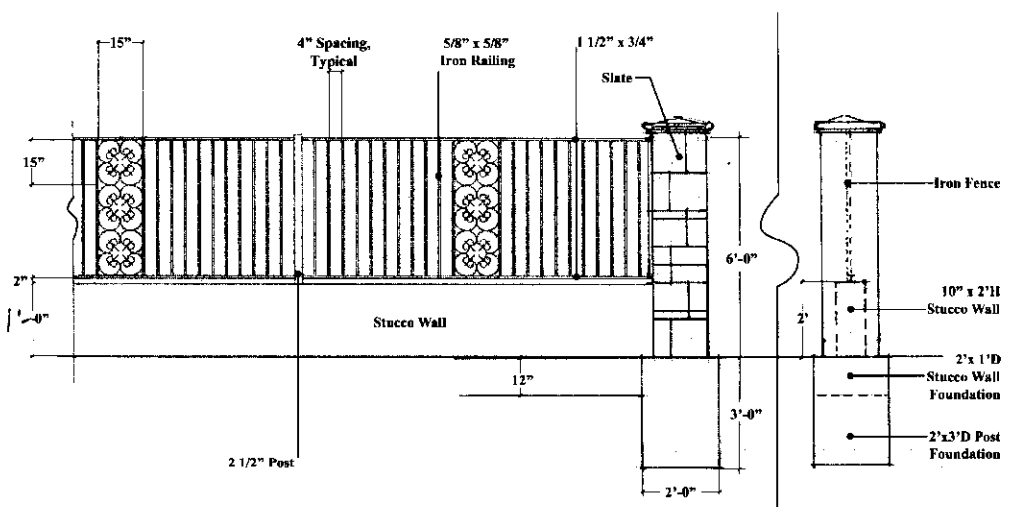
Elevation View

SCALE: NTS



Section Detail

SCALE: NTS



Elevation View

SCALE: NTS

Side View

SCALE: NTS

## POST

## FENCE

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L-11

SHEET:

108:

SCALE:

DATE:

June 2, 2006

**GAZEBO, POST  
& FENCE DETAILS**

**LEE'S RESIDENCE**  
1608 Pebble Beach Court  
Milpitas, CA



**China Garden Landscape Co., Inc.**  
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